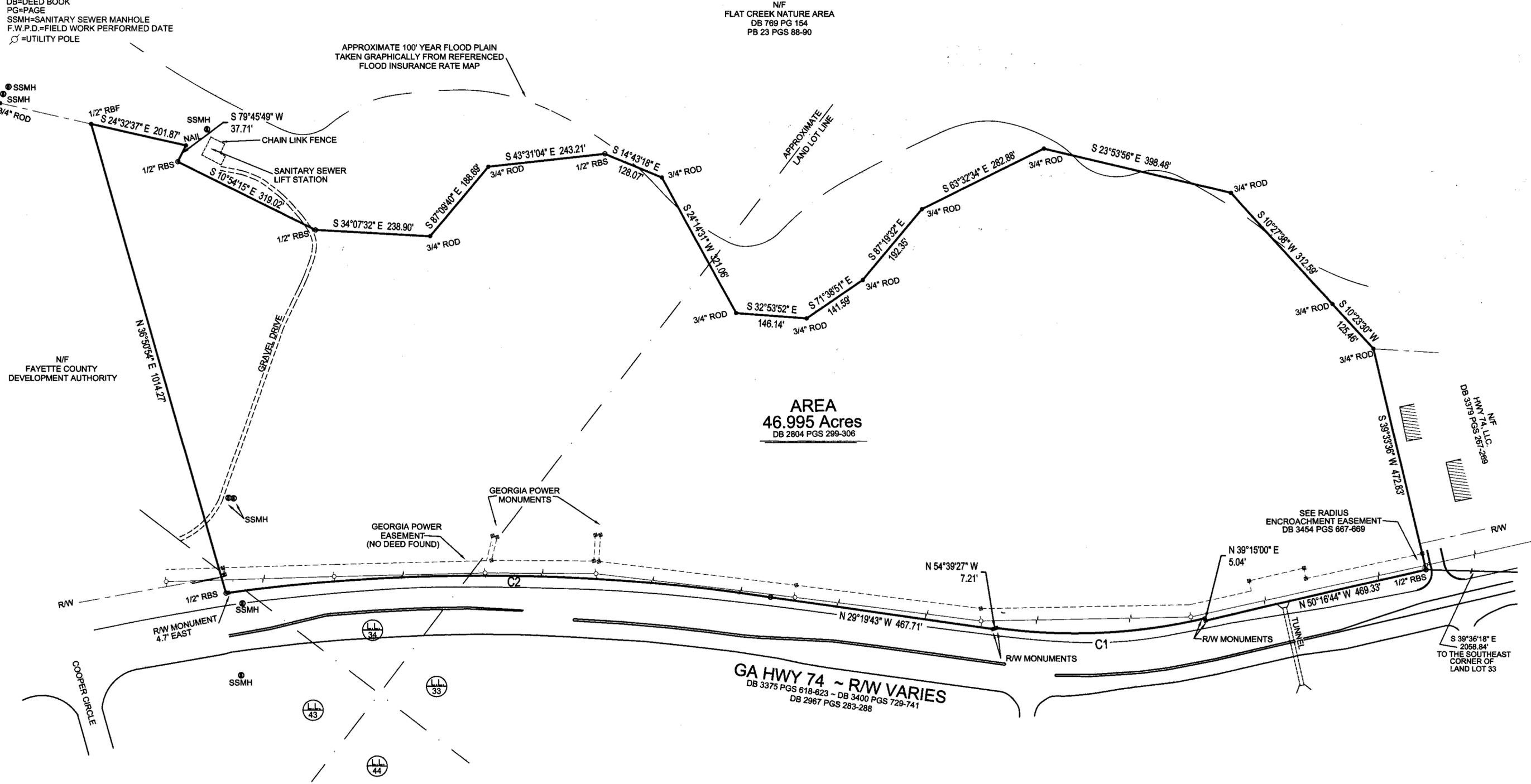


LEGEND
 RBF=REBAR FOUND
 RBS=REBAR SET
 CTP=CRIMP TOP PIPE
 L.L.=LAND LOT
 L.L.L.=LAND LOT LINE
 P.=PROPERTY LINE
 N/F=NOW OR FORMERLY
 EP=EDGE OF PAVEMENT
 RW=RIGHT OF WAY
 S.W.E.=SIDEWALK EASEMENT
 P.O.B.=POINT OF BEGINNING
 B/L=BUILDING LINE
 D.E.=DRAINAGE EASEMENT
 PB=PLAT BOOK
 DB=DEED BOOK
 PG=PAGE
 SSMH=SANITARY SEWER MANHOLE
 F.W.P.D.=FIELD WORK PERFORMED DATE
 ○=UTILITY POLE

FLOOD STATEMENT
 ACCORDING TO FEMA FLOOD
 INSURANCE RATE MAP NUMBER
 13113C0131E, DATED SEPTEMBER 26,
 2008, PORTIONS OF THIS PROPERTY LIE
 WITHIN A SPECIAL FLOOD HAZARD
 AREA.

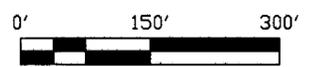


AREA
 46.995 Acres
 DB 2804 PGS 299-306

GA HWY 74 ~ RW VARIES
 DB 3375 PGS 618-623 ~ DB 3400 PGS 729-741
 DB 2967 PGS 283-288

CLOSURE STATEMENT
 THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE
 PRECISION OF ONE FOOT IN 37,720 FEET AND AN ANGULAR ERROR OF 00"
 00' 02" PER ANGLE POINT AND HAS BEEN ADJUSTED USING THE COMPASS
 RULE METHOD.

IT IS HEREBY CERTIFIED THAT THIS PLAT
 CONFORMS TO ALL REQUIREMENTS OF THE
 GEORGIA PLAT ACT(O.C.G.A. 15-6-67).



CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	1193.24'	435.02'	432.61'	N 39°55'32" W
C2	3919.52'	1134.53'	1130.57'	N 36°42'04" W

THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE
 ACCURATE WITHIN ONE FOOT IN 100,000+ FEET.

SURVEY IS VALID ONLY IF PRINT
 HAS ORIGINAL SIGNATURE OF
 SURVEYOR.

ANGULAR & LINEAR MEASUREMENTS WERE OBTAINED USING A LIECA 403
 TCR TOTAL STATION

DECLARATION IS MADE TO
 ORIGINAL PURCHASER OF THE
 SURVEY. ANY USE BY THIRD
 PARTIES IS AT THEIR OWN RISK.
 SURVEY IS VALID ONLY IF PRINT
 HAS ORIGINAL SEAL AND
 ORIGINAL SIGNATURE OF
 SURVEYOR.

THIS SURVEY DOES NOT
 CONSTITUTE A TITLE SEARCH BY
 SURVEYOR. ALL INFORMATION
 REGARDING RECORD
 EASEMENTS, ADJOINERS AND
 OTHER DOCUMENTS THAT
 MIGHT AFFECT THE QUALITY OF
 TITLE TO TRACT SHOWN WERE
 NOT SUPPLIED TO THIS OFFICE.

Job No. SA14-236

Drawn By: r.d.g.	Reviewed By: r.m.b.
Issue Date: 12/19/14	
F.W.P.D.: 12/18/14	
Revisions	Date



Prepared For:

MOBACORP

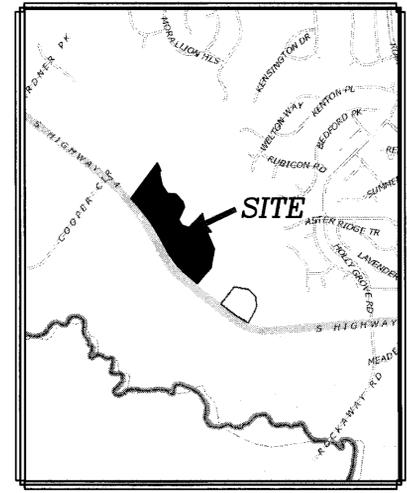
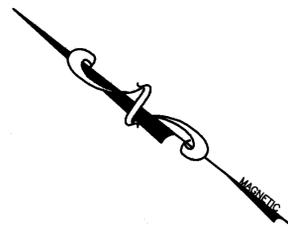
Property Location

Land Lot 33 & 34 Of The 6th Land District
 Fayette County, Georgia

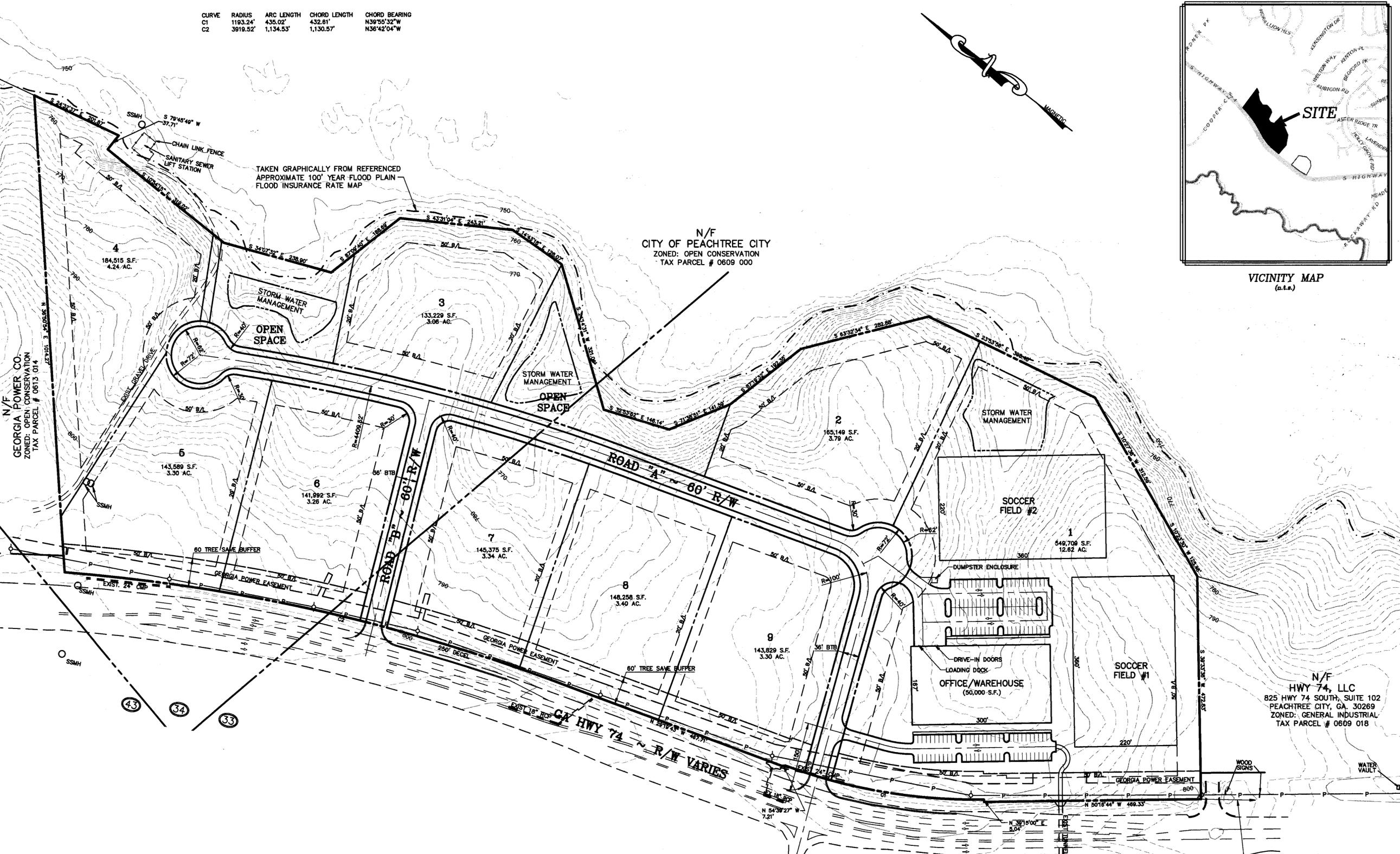
**S.A. GASKINS &
 ASSOCIATES, LLC**

surveyors planners development consultants
 P.O. BOX 321 Brooks, Ga. 30205
 770-460-9342

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	1193.24'	435.02'	432.81'	N39°55'32"W
C2	3919.52'	1,134.53'	1,130.57'	N36°42'04"W



VICINITY MAP
(n.t.s.)



N/F
GEORGIA POWER CO.
ZONED: OPEN CONSERVATION
TAX PARCEL # 0613 014

N/F
CITY OF PEACHTREE CITY
ZONED: OPEN CONSERVATION
TAX PARCEL # 0609 000

CIVIL ENGINEERING
LAND PLANNING
HYDROLOGY

PREPARED BY:
HOVEY & ASSOC., INC.
130 HOWARD LANE, SUITE B
FAYETTEVILLE, GEORGIA 30214
PHONE: 770-460-2200

PREPARED FOR:
OWNER
MOBACORP
180 WALTER WAY, SUITE 110
FAYETTEVILLE, GA. 30214
DEVELOPER
& 24 HR. CONTACT
MARKSMEN PROPERTIES, INC.
180 WALTER WAY, SUITE 114
FAYETTEVILLE, GA. 30214
CONTACT: MARK WURSTER
PHONE 678-300-0954

CONCEPTUAL PLAN
FOR:
MOBACORP
LOCATED IN: LAND LOTS 33
& 34 ~ 6th DISTRICT ~
CITY OF PEACHTREE CITY ~
FAYETTE CO., GEORGIA
N/F
HWY 74, LLC
825 HWY 74 SOUTH, SUITE 102
PEACHTREE CITY, GA. 30269
ZONED: GENERAL INDUSTRIAL
TAX PARCEL # 0609 018

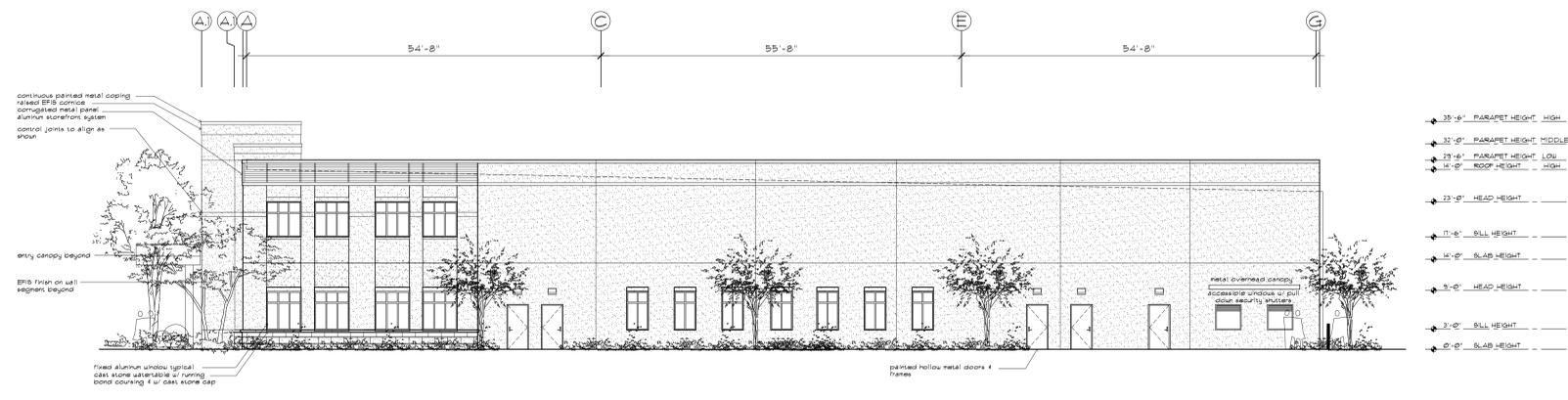
GRAPHIC SCALE: 1" = 100'
0' 100' 200' 300'
DATE: MARCH 23, 2015

REV.	DATE	DESCRIPTION



SHEET
1
OF
1
SHEETS

- GENERAL NOTES:**
- TOTAL AREA OF THIS SITE: 46.995 ACRES
 - PROPERTY IS ZONED: GI
MIN. FRONT SETBACK: 50 FT.
MIN. SIDE SETBACK: 20 FT.
MIN. REAR SETBACK: 50 FT.
MIN. LOT AREA = 80,000 S.F.
 - BUILDING AREA:
TOTAL BLDG. AREA: 50,000 SQ. FT.
 - TYPICAL SIZE OF PARKING SPACE: 9' x 18'
HANDICAP SPACE: 8' x 18' W/S AISLE.
 - WATER SHALL BE SUPPLIED BY FAYETTE CO. WATER DEPARTMENT.
 - SEWERAGE SHALL BE PROVIDED BY PEACHTREE WATER AND SEWER AUTHORITY.
 - THIS PROPERTY DOES LIE WITHIN A DESIGNATED 100 YR. FLOOD HAZARD AREA AS INDICATED IN F.I.R.M. MAP 13113C0131 E, DATED SEPTEMBER 26, 2008.
 - TAX PARCEL I.D. #0609 001



1 SIDE EXTERIOR ELEVATION
 3/32" = 1'-0"



2 FRONT EXTERIOR ELEVATION
 3/32" = 1'-0"

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Professional Seal:

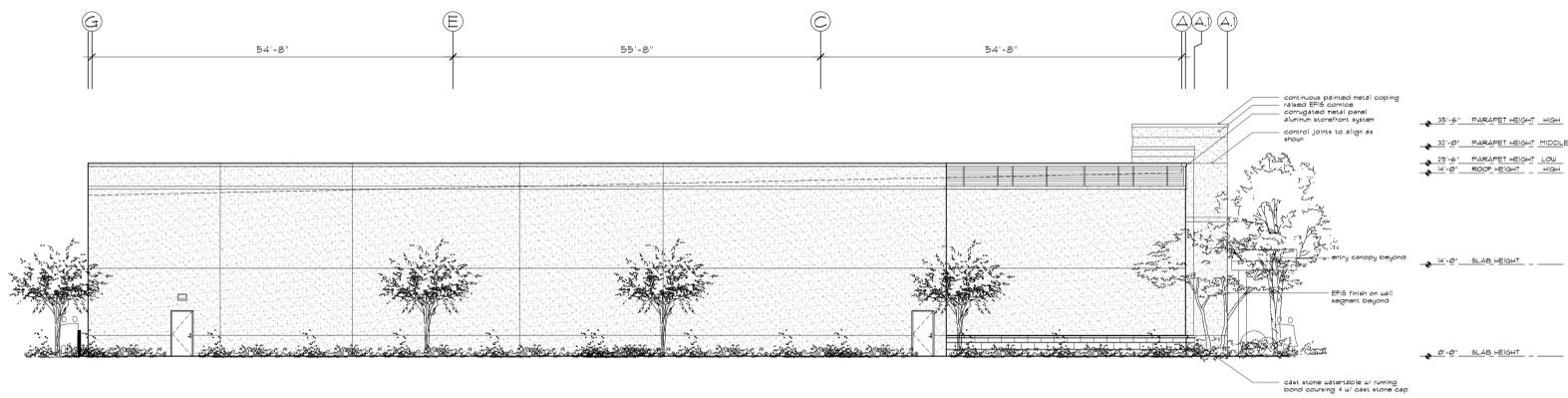
Date: 12-21-15 Issue: Progress Set

Sheet Name:

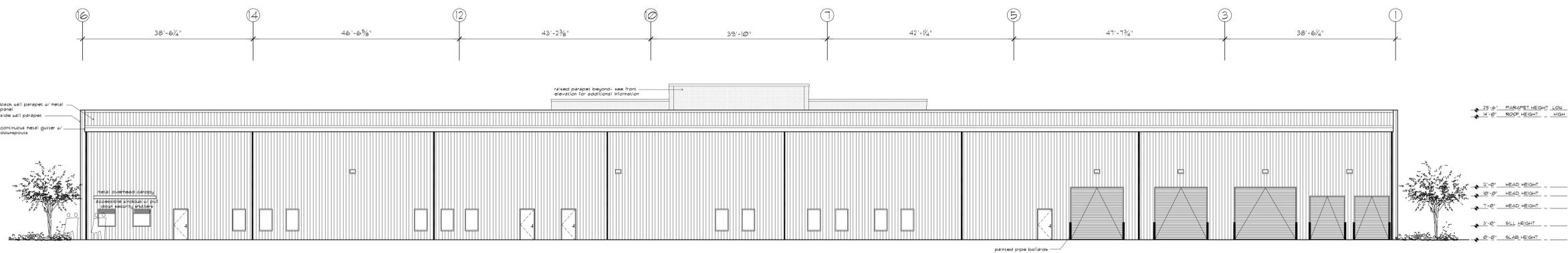
EXTERIOR ELEVATIONS

Date: 12-21-15 Project No: 2015-0200 Sheet No:

A2.0



1 SIDE EXTERIOR ELEVATION
 3/32" = 1'-0"



2 REAR EXTERIOR ELEVATION
 3/32" = 1'-0"

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 CORRECTED: JAS

Professional Seal:

Date:	Issue:
12-21-15	Progress Set

Sheet Name:

EXTERIOR ELEVATIONS

Date:	12-21-15
Project No:	2015-0200
Sheet No:	

A2.1