



Please use blue or black ink to fill out this form.

Permit #: \_\_\_\_\_ PTC  
 \_\_\_\_\_  
 Office Use Only

# BUILDING PERMIT APPLICATION

153 Willowbend Rd, Peachtree City, GA 30269  
 P: 770-487-8901 F: 770-631-2552  
**WWW.PEACHTREE-CITY.ORG**

<b>PROJECT TYPE</b>		<b>JOB SITE ADDRESS</b>		<b>DATE:</b> ___ / ___ / ___	
<input type="checkbox"/> Residential <input type="checkbox"/> Non-Residential <input type="checkbox"/> Accessory Use (shed, deck, etc) <input type="checkbox"/> Remodel <input type="checkbox"/> Repair <input type="checkbox"/> Addition <input type="checkbox"/> Basement Finish		Address: _____		Estimated Value (Labor & Materials):	
		Subdivision _____		Block _____ Lot _____	
				<b>\$</b> _____	

<b>PROPERTY OWNER</b>	Name _____	<b>GENERAL CONTRACTOR</b>	Firm _____
	Address _____		Address _____
	City, State, Zip _____		City, State, Zip _____
	Phone _____ Fax _____		Phone _____ Fax _____
	Email _____		License # _____
	Primary project contact? <input type="checkbox"/> Yes <input type="checkbox"/> No		Primary project contact? <input type="checkbox"/> Yes <input type="checkbox"/> No

<b>ARCHITECT</b>	Name _____	<b>FENCE</b>		<b>HOA</b>
	Address _____	<b>TYPE</b>	<b>MATERIAL</b>	
	Phone _____ Fax _____	<input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Residential <input type="checkbox"/> Pool	<input type="checkbox"/> Wood <input type="checkbox"/> Brick/Stone <input type="checkbox"/> Metal Black/Green Vinyl <input type="checkbox"/> Other _____	Owner is responsible for home owner association approval. Do you have a letter of approval from the HOA attached? <input type="checkbox"/> Yes <input type="checkbox"/> No
	Email _____	Fence Height _____		

<b>DESCRIBE PROJECT</b>	_____	<b>PROJECT INFO</b>	<b>APPROVALS</b>	Building Height: _____	Total Heated sqft: _____
	_____		<input type="checkbox"/> Sewer <input type="checkbox"/> Septic <input type="checkbox"/> Water FCEH approval date: ___ / ___ / ___	# of Floors: _____	Total Unheated sqft: _____
	_____		# of Bedrooms: _____	# of Baths: _____	
	_____		# of Fireplaces: _____	Basement? <input type="checkbox"/> Yes <input type="checkbox"/> No	
	_____				

\* FCEH - Fayette County Environmental Health Dept - 770-631-0743

**This permit becomes null and void if work or construction authorized is not commenced within 6 months or if construction or work is suspended or abandoned for a period of 6 months at any time after work is started separate permits are required for electrical, plumbing, heating, fireplace ventilation, air conditioning.**

**I hereby certify that I have read and examined this application and the information provided herein is true and correct. No changes shall be made from that which is stated in this application, or in attached plans and specifications. Granting of a permit shall not be construed as a permit for or an approval of any violation of the Building Code or any other state or local law regulating construction or the performance of construction. I further certify that all construction will comply with the International Building Codes.**

Signature of Owner/Agent/Applicant: \_\_\_\_\_ Date \_\_\_\_\_

Print Applicant Name: \_\_\_\_\_ Phone #: \_\_\_\_\_

<b>FOR OFFICE USE ONLY</b>	Stormwater Utility Bill up-to-date? <input type="checkbox"/> Yes <input type="checkbox"/> No	Construction Type: _____	Occupancy Type: _____
	Application Accepted by: _____	Date _____	Plan Name: _____
			Plan on File? <input type="checkbox"/> Yes <input type="checkbox"/> No

<b>HOA</b>	Approved by HOA? <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Verbal approval <input type="checkbox"/> Written approval	HOA checked by: _____	Date _____
------------	---	---	-----------------------	------------

<b>PLANNING &amp; ZONING</b>				<b>ENGINEERING</b>			
Zoned: _____	Conditions: _____	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes - see attached		Approved LDP? <input type="checkbox"/> Yes <input type="checkbox"/> No	Conforms with LDP? <input type="checkbox"/> Yes <input type="checkbox"/> No	Project in Floodplain? <input type="checkbox"/> Yes <input type="checkbox"/> No	
Setbacks: Front _____	Side _____	Rear _____		Additional Impervious Area: <input type="checkbox"/> Yes - (fillout back section) <input type="checkbox"/> No		Total new impervious area: _____ ft <sup>2</sup>	
Zoning checked by _____ <input type="checkbox"/> Approved <input type="checkbox"/> Denied			Date _____	Engineering checked by _____ <input type="checkbox"/> Approved <input type="checkbox"/> Denied		Date _____	

<b>FEES PAID</b>	<b>PERMIT:</b>	<b>LDP:</b>	<b>FIRE MARSHAL:</b>	<b>PLAN REVIEW:</b>	<b>CO:</b>	<b>TOTAL:</b>
	\$ _____ / _____ / _____	\$ _____ / _____ / _____	\$ _____ / _____ / _____	\$ _____ / _____ / _____	\$ _____ / _____ / _____	\$ _____ / _____ / _____

# BUILDING PERMIT

For the complete Building and Construction Ordinance please reference [Chapter 18](#) in Peachtree City's Code of Ordinances

## Impervious Area Calculation

An area is considered impervious if it does not allow the infiltration of rainfall or stormwater runoff into the soil. Examples: Pavement, compacted gravel sidewalks, roofing, etc.

Description of Impervious Area:

\_\_\_\_\_

\_\_\_\_\_

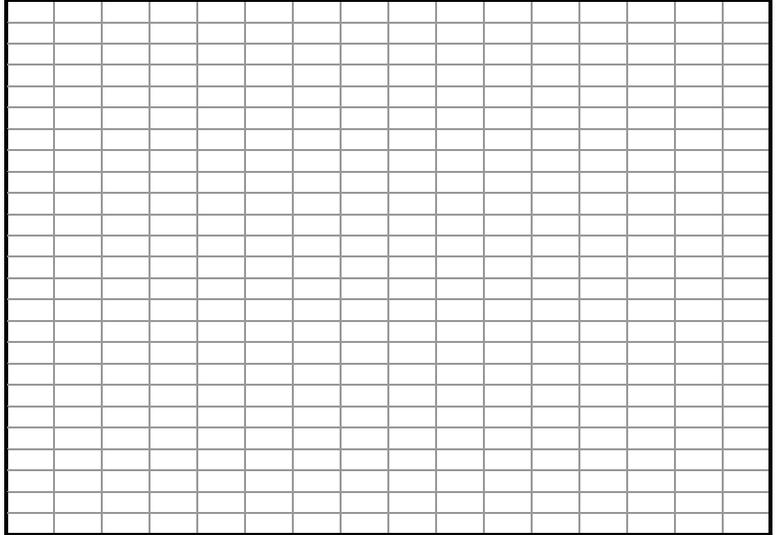
\_\_\_\_\_

\_\_\_\_\_

In the area to the right please draw, and label, the footprint of both existing and new impervious area. Drawings do not have to be to scale, but dimensions MUST be included.

TOTAL NEW IMPERVIOUS AREA IN SQUARE FEET:

\_\_\_\_\_ FT<sup>2</sup>



## Deck Span Tables

Southern Pine No. 2 or better, agency grade marked.  
 • Total Load: 40 PSF live + 10 PSF dead = 50 PSF  
 • Deflection Limit: Span/360

FLOOR JOIST MAXIMUM SPANS*		
SIZE	16" O.C.	24" O.C.
2 X 6	9'-5"	7'-10"
2 X 8	12'-5"	10'-1"
2 X 10	15'-10"	13'-1"

\* Additional cantilevered spans up to 2' may be added to the joist spans shown

DECK BOARD MAXIMUM SPANS	
SIZE	MAX. SPAN
5/4 X 4	16"
5/4 X 6	16"
2 x 4	24"
2 X 6	24"

BEAM SIZES AND MAXIMUM SPANS (1)						
Joist		End Beams (2)		Center Beams (3)		
Size (4)	Qty	Size	Max. Beam Span	Qty	Size	Max. Beam Span
2 x 6	2 (or)	2 x 8	8'-8"	2	2 x 10	8'-0"
	1	2 x 10 (5)	8'-0"			
2 x 8	2 (or)	2 x 10	9'-10"	2	2 x 12	8'-1"
	1	2 x 12	8'-1"			
2 x 10	2 (or)	2 x 12	10'-2"	2	2 x 12	7'-3"
	2	2 x 10 (6)	8'-8"			

- Double beams bear directly on top of posts. Single beams bear on a notch in the post. Firmly secure beams to posts. Clinch-nail double beams 10" O.C. with 16 penny nails 1-1/2" from top and bottom edge.
- Supporting ends of joists only, including cantilevered span, if any (2' maximum overhang).
- Supporting middle of joists or ends of in-line joists.
- Joists bear on top of beams or on 2 x 2 ledgers nailed to beams. Nail ledgers to beams with 16 penny nails in pre-drilled holes at each joist locations, and 6" O.C. or less between joists. Toenail ends of joists to beams with two 16 penny nails.
- When joists are cantilevered, use 2 x 10 #1 grade.
- Notch joists for 2 x 2 ledgers.

RECOMMENDED POST SIZES*				
JOIST SIZE	DECK HEIGHT			
	4'	8'	12'	16'
2 X 6	4 X 4	4 X 6	6 X 6	
2 X 8	4 X 4	4 X 6	6 X 6	
2 X 10	4 X 6		6 X 6	

\* Install sway bracing on perimeter posts consisting of x-braces and/or knee braces. Nail braces with three 16 penny nails at each end, in pre-drilled holes. Posts should bear on stone base below the frost line with stone backfill.

**Nailing:** Use as a minimum, hot dip galvanized ring shank nails (confirming to ASTM A-153) approximately 3 times as long as the thickness of wood being attached. Pre-drill nail holes in ledgers, braces and in ends of decking to help prevent splitting, as well as when nailing beams and cleats to posts. Whenever possible, nail deck boards with bark side up to reduce cupping.

**Spacing between Boards:** Kiln drying after treatment (KDAT) is recommended to reduce shrinkage and warping. KDAT boards should be spaced 1/8 inch. Non-KDAT boards should be nailed with little or no spacing to allow for shrinkage.

**Screws:** The use of screws is preferred over nails. Size and material of screws should be comparable to nails.

## Sec. 18-340. Fence Standards

- All fences built or erected within the city shall conform to the standards specified in this article; the standards in this article shall apply to all fences within the city.
- No fence in excess of four feet in height shall be installed within 40 feet of the right-of-way of an arterial street or a major collector street.
- For any zoning lot adjacent to a greenbelt that is required along a collector street, no fence in excess of four feet in height shall be installed within 35 feet of the right-of-way of that collector street.
- No privately owned fence shall be installed within any public street right-of-way or within any city-owned greenbelt area.
- No fence shall be installed so that, in the opinion of the city engineer, it obstructs vision at any street intersection, or in any way creates a hazard to traffic.
- No fence shall be installed so that, in the opinion of the fire chief, it prevents or unduly restricts access to property for emergency purposes.
- If a fence is designed so that its structural supports are primarily on one side, that side must always be toward the interior of the property.

- Wire fencing may be attached to the interior of or made a part of any wooden, stone, brick, wrought iron, or other such non-wire-type fencing, where the other type fencing would not provide an adequate barrier to contain pets or animals. When so applied, the wire shall be vinyl coated or painted in a standard dark brown, dark green or black color. When used under these conditions, it shall not be considered a wire fence.
- If a fence is required by any governmental authority to provide for the safety and security of the residents of the city, that fence shall not be removed or otherwise left in an unsafe condition for any reason without the approval of the building official, and without proper precautions being taken to provide for continuous protection.
- It shall be the responsibility of the owner of the property on which a fence is located to maintain that fence in good and proper repair so that at all times it presents a neat and orderly appearance to surrounding property owners and to the general public.
- Any fence damaged by accident or an act of God shall be properly repaired within 90 days of occurrence. Fencing required for public safety purposes shall be repaired immediately.
- Swimming pool fences shall be constructed in accordance with the provisions of section 18-300.
- In those instances where fence height is limited to four feet, other than in a front yard or within the required setback area that adjoins a street right-of-way, fences with decorative features such as newels, finials and scallops may exceed four feet in height but in no case more than five feet in height.

## Sec. 18-341. Residential Standard.

- The standards in this section shall apply to all fences in the following zoning districts: R-1, R-10, R-12, R-15, R-22, R-43, ER, GR, VR, UR, AR and OS.
- No fence or portion of a fence shall exceed eight feet in height; however, if a property owner wishes to install a tennis court or some other similar special-purpose facility, a fence not to exceed ten feet in height may be erected on the condition the site plan for the special purpose facility is first approved in accordance with the site plan review process in the land development ordinance, appendix B to this Code.
- Unless further restricted by this article, no fence within a required side or rear setback area shall exceed six feet in height; however, if due to variations in topography or if the fence contains decorative features such as newels, finials or scallops, it may exceed six feet in height, but in no case shall it exceed seven feet in height.
- No fence comprised of metal parts shall be installed in a residential area unless all exposed metal parts are vinyl-coated or painted a standard dark brown, dark green or black color to blend into the natural surroundings.
- No fence in excess of four feet in height shall be installed within the required setback area that adjoins a street right-of-way. In addition, no fence in excess of four feet in height shall be installed within a residential front yard.
- No fence installed in a residential front yard shall be constructed of any material that restricts the view through such fence by more than 50 percent of the total barrier as viewed from the street.
- Except as provided in subsection (h), no fence which is constructed of wire, including chainlink fencing, shall be installed between the principal structure on a residential zoning lot and any adjoining street right-of-way.
- Except in ER estate residential, and AR agricultural zoning districts, no fence permitted in subsection (h) shall be installed in a residential front yard.

## Sec. 18-342. Commercial Standard.

- The standards in this section shall apply to all fences in the following zoning districts: LC, GC, LUC, and OI.
- No fence or portion of a fence shall exceed eight feet in height, unless specifically approved in accordance with the site plan review process in the land development ordinance, appendix B to this Code; however, in no instance shall any fence exceed ten feet in height.
- No fence comprised of metal parts shall be installed in a commercial area unless all exposed metal parts are vinyl-coated or painted a standard dark brown, dark green or black color to blend into the natural surroundings.
- No fence which is constructed of wire, including chainlink fencing, and no fence in excess of four feet in height shall be installed between the principal structure on a zoning lot and any adjoining street right-of-way line. On a zoning lot with multiple street frontages, this restriction shall apply on all street frontages. On a zoning lot with no principal building erected on the lot, this restriction shall apply to required setback areas that adjoin a street right-of-way.

## Sec. 18-343. Industrial Standard.

- The standards in this section shall apply to all fences in the following zoning districts: LI, GI, LUI, and AI.
- No fence or portion of a fence shall exceed ten feet in height.
- No fence comprised of metal parts shall be installed in a front yard setback area unless all exposed metal parts are vinyl-coated or painted a standard dark brown, dark green or black color to blend into the natural landscape.
- No fence which is constructed of wire, including chainlink fencing, and no fence in excess of six feet in height shall be installed between the principal structure on a zoning lot and any adjoining street right-of-way line. On a zoning lot with multiple street frontages, this restriction shall apply on all street frontages. On a zoning lot with no principal building erected on the lot, this restriction shall apply to all required setback areas that adjoin a street right-of-way.